

**CITY OF IOWA CITY
HOUSING AND INSPECTION SERVICES
BUILDING DIVISION
GUIDELINES FOR DRAWING RESIDENTIAL PORCH PLANS**

The following form was prepared by the Building Division to be used only as a general guideline for the drawing of construction plans which are required to be submitted at the time of application for a building permit.

To make application for a building permit, the applicant shall submit two (2) sets of detailed construction plans drawn to scale on minimum 8 1/2" x 11" sheets of each of the following to the Building Division—Housing and Inspection Services, City Hall, between 8:00 a.m. and 4:30 p.m. Monday through Friday. The office is closed on all City holidays. One (1) set of photographs is required when located in a Historic District. If project is located in a Historic District or Conservation District or is a Historic Landmark, please go to www.icgov.org/default/?id=1484 for an application that will need to be submitted with the Building Permit application.

1. Site Plan
2. Foundation Plan/Pier Plan
3. Floor Plan/Framing Plan
4. Elevations
5. Typical Porch Section
6. Additional Details (if necessary)

The following are lists of the items that should be shown on each of the above plans: The illustrations are guides for plan preparation only to give you a basic idea what each type of plan should look like and are not necessarily specific Code and other Ordinance requirements. Each individual site location, the location of the building on the site and/or size of building might vary as requirements of the Iowa City Zoning Ordinance, the Building Code, and other ordinances dictate, and each will have to be reviewed on its own specific conditions after submittal.

SITE PLAN

- √ Indicate size and shape of your lot
- √ Indicate address and street (or streets if a corner lot)
- √ Indicate alley location
- √ Indicate size and location of existing house and other buildings
- √ Indicate size and location of proposed porch to be constructed or repaired
- √ Indicate distance between the proposed porch to be constructed or repaired and each of the property lines
- √ Indicate location of easements on your lot

FOUNDATION PLAN/PIER PLAN

- √ Indicate length and width of the proposed porch foundation or pier layout
- √ Indicate size of footing and identify reinforcing
- √ Indicate size of foundation wall and identify reinforcing
- √ Indicate size and spacing of piers
- √ Indicate size, spacing and direction of span of porch floor framing system
- √ Indicate how porch framing system will be attached to the existing house
- √ Indicate thickness of floor slab and size of spacing of reinforcing bars

FLOOR PLAN/FRAMING PLAN

- √ Indicate length and width of proposed porch
- √ Indicate distance from porch to each side of house

- √ Indicate width and location of steps and/or stair
- √ Indicate handrails and guardrails
- √ Indicate size and spacing of columns
- √ Indicate size of beam and beam to column connection
- √ Indicate size, spacing and distance of span of floor and/or roof framing system

ELEVATIONS

- √ Indicate finish grade line and show depth of foundation and footing or piers below finish grade
- √ Indicate width and height of porch
- √ Indicate size and location of all columns
- √ Indicate size of beams and beam to column connection. Indicate number of bolts, bolt type, diameter and length. Indicate if column is notched to receive beam on 6x6 or larger columns
- √ Indicate number and size of risers and treads on steps and/or stair
- √ Indicate handrails and guardrails
- √ Indicate size of beam and roof framing
- √ Indicate type of roofing material
- √ Indicate gutters and downspouts

TYPICAL PORCH SECTION

- √ Indicate size and depth of footing and/or piers below finish grade line
- √ Indicate size of foundation wall and/or piers and height above finish grade line
- √ Indicate thickness of granular fill, porch floor slab and size of spacing of reinforcing bars
- √ Indicate size and spacing of floor framing system
- √ Indicate how porch floor slab or framing system will be attached to existing house
- √ Indicate type and size of column anchors to foundation wall or piers
- √ Indicate size and spacing of columns
- √ Indicate size of beam and beam to column connection. Indicate number of bolts, bolt type, diameter and length. Indicate if post is notched to receive beam on 6 x 6 or larger columns
- √ Indicate number and size of risers and treads on stair
- √ Indicate type and height of handrail and guardrail
- √ Indicate height from finish grade to porch floor(s) and/or ceiling
- √ Indicate size and spacing of studs, size and type of exterior wall sheathing, felt and siding.
NOTE: Exterior walls of all porches less than 5'0" from side property lines are required to have a one (1) hour fire rating
- √ Indicate size of beam supporting roof structure
- √ Indicate size of spacing of ceiling joist and roof rafters. If pre-fab roof trusses are proposed, submit manufactured design specifications and criteria sealed by a registered Iowa engineer to the Building Inspector at time of inspection
- √ Indicate size and type of roof sheathing, felt, roofing material and slope of roof

ADDITIONAL DETAILS

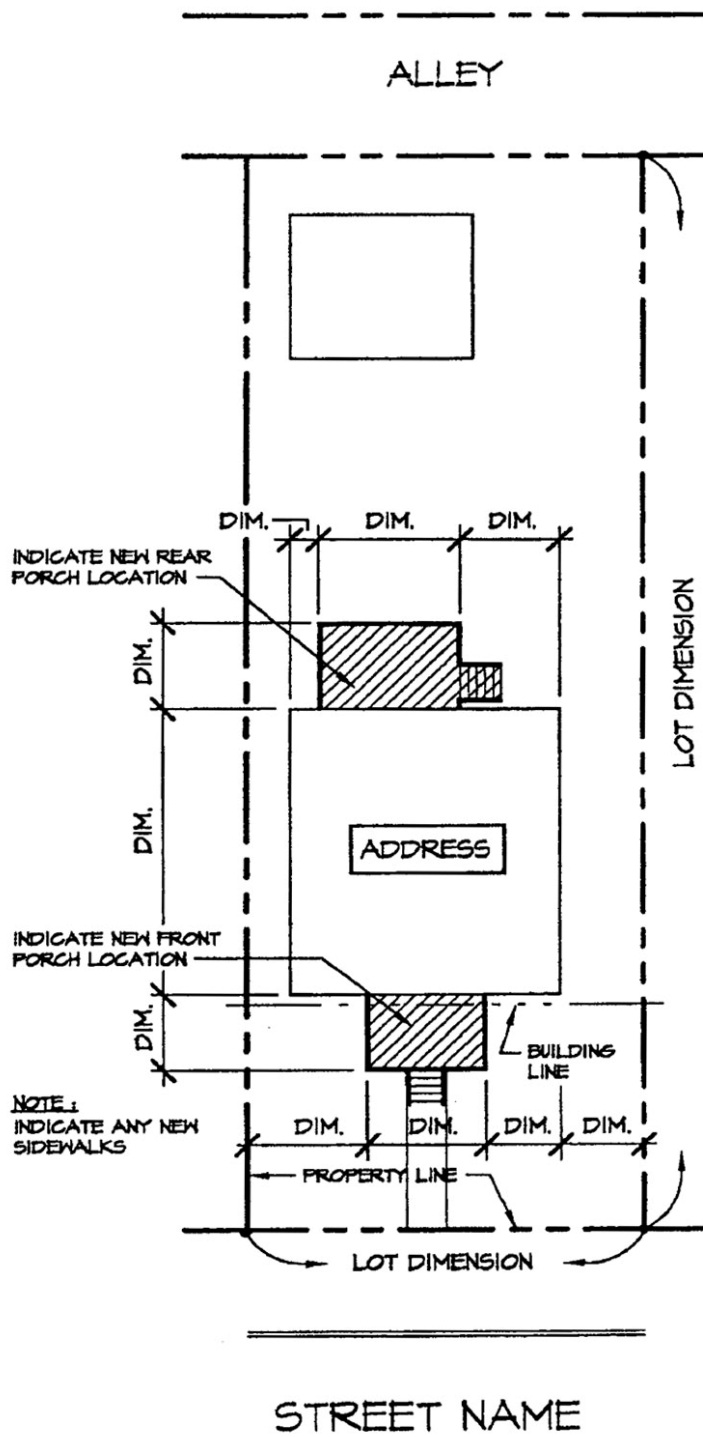
- √ Indicate whatever information is necessary to show how your proposal will be constructed.

For additional information contact: Building Inspection Division at (319) 356-5120

GENERAL PORCH NOTES

- √ For specific side yard requirements for a porch, contact the Zoning Department, City Hall, (319) 356-5120. A general rule of thumb is a minimum of five (5) feet from any side property line.
- √ All porch framing members, decking and railing must be of approved naturally-durable or pressure treated wood.

- √ For use of pre-fab roof trusses—submit truss specification sheets sealed by an Iowa registered engineer to the Building Inspector at the time of inspection. Specification sheets must be specific and correspond to actual trusses used—any truss modification requires submittal of revised sealed specification sheets.
- √ All exterior walls, regardless of porch size, closer than five (5) feet from the side property lines are required to have a one (1) hour fire rating. Fire rating on walls are usually obtained by use of a masonry/brick or 5/8" thick Type X fire rated gypsum board on both sides of stud.



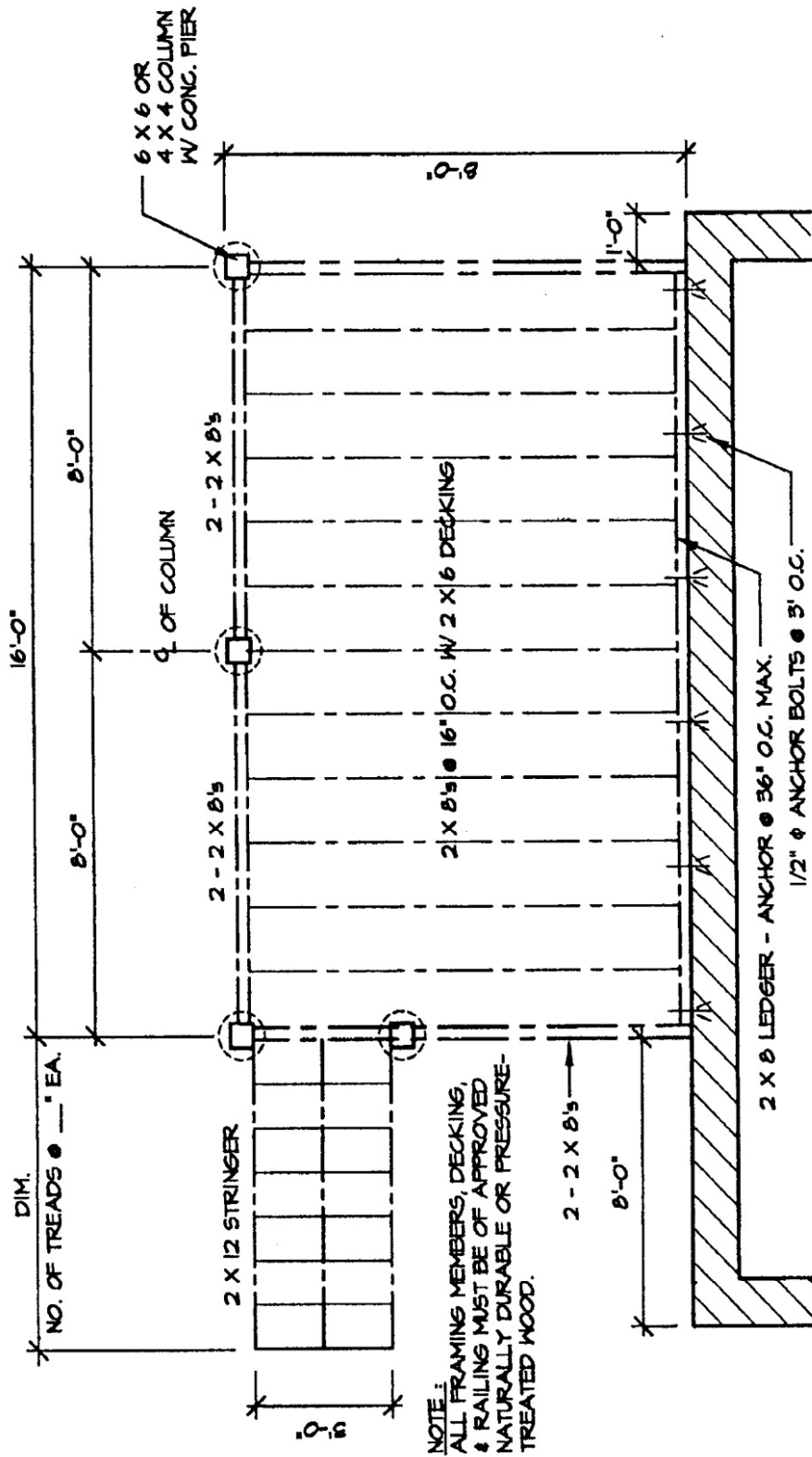
SITE PLAN

DENOTE SCALE

PSITE



<p>City of Iowa City - Building Division RESIDENTIAL PORCH Guidelines and Standard Construction Details</p>	Date:
	<p>Drawing No. 1 of 4</p>



NORTH



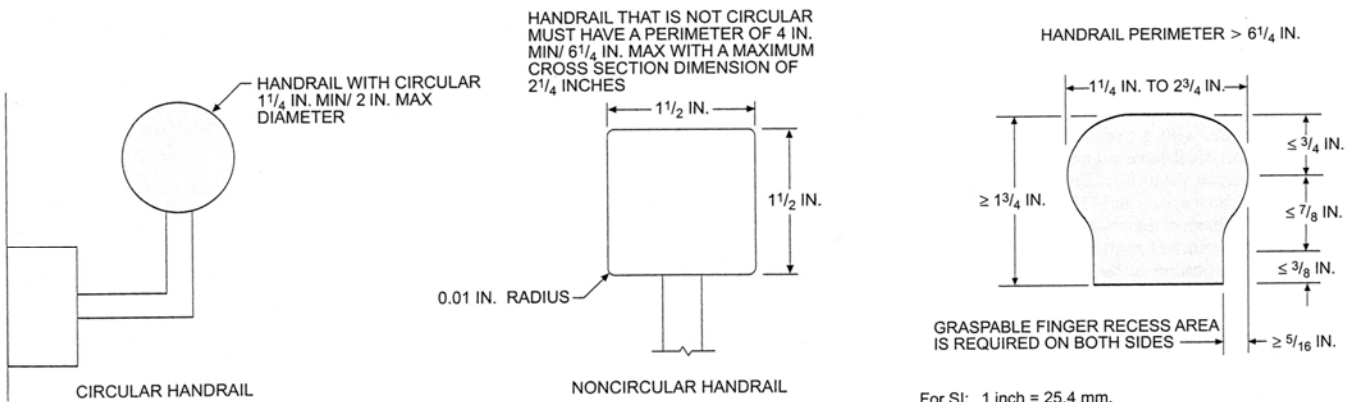
(INDICATE ORIENTATION)

1/4" = 1'-0"

PLAN

RPPLN

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	Drawing No. 2 of 4



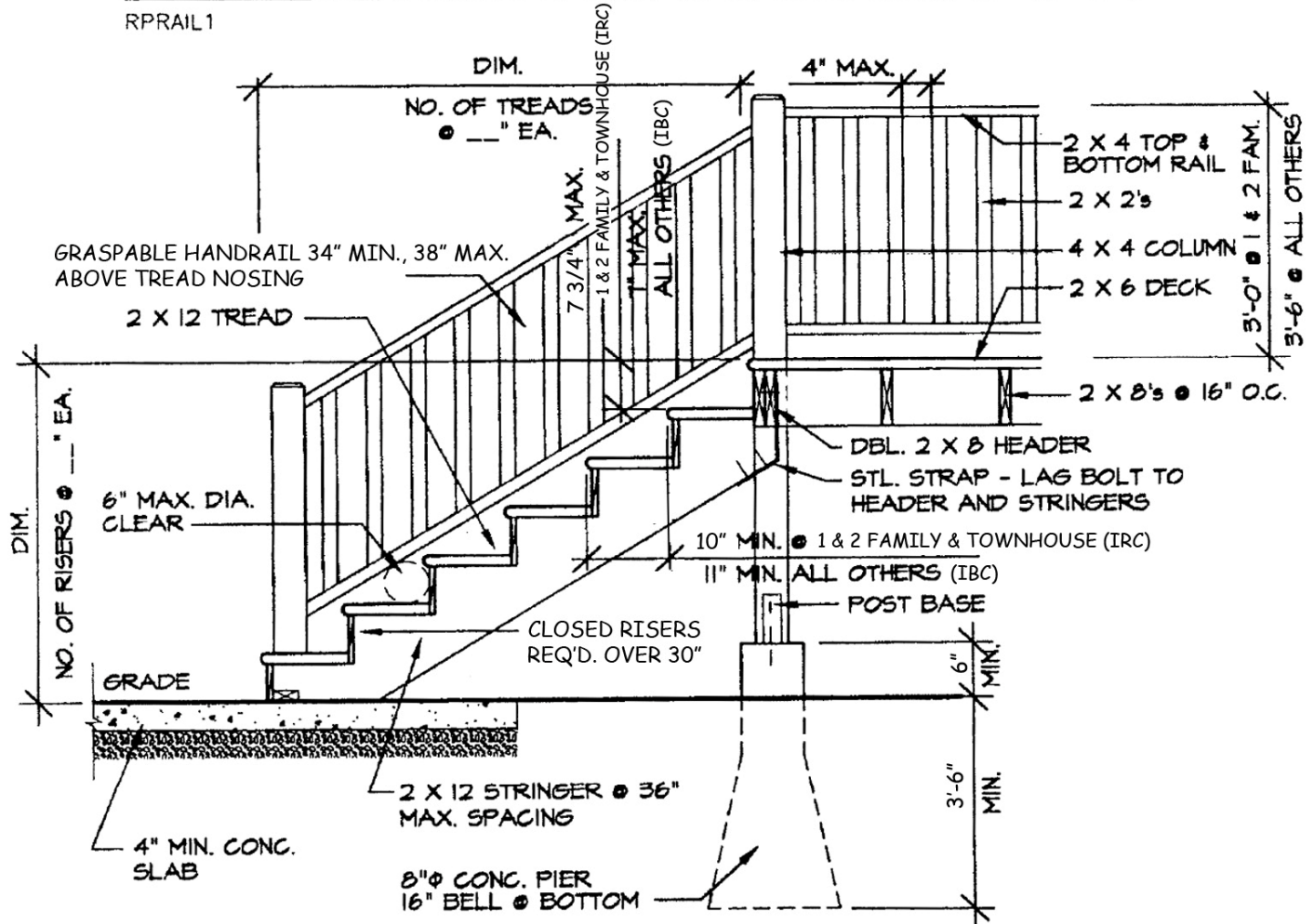
For SI: 1 inch = 25.4 mm.

Figure R311.7.7.3(1)
TYPE I HANDRAIL

Figure R311.7.7.3(2)
TYPE II HANDRAIL

HANDRAIL IDEAS

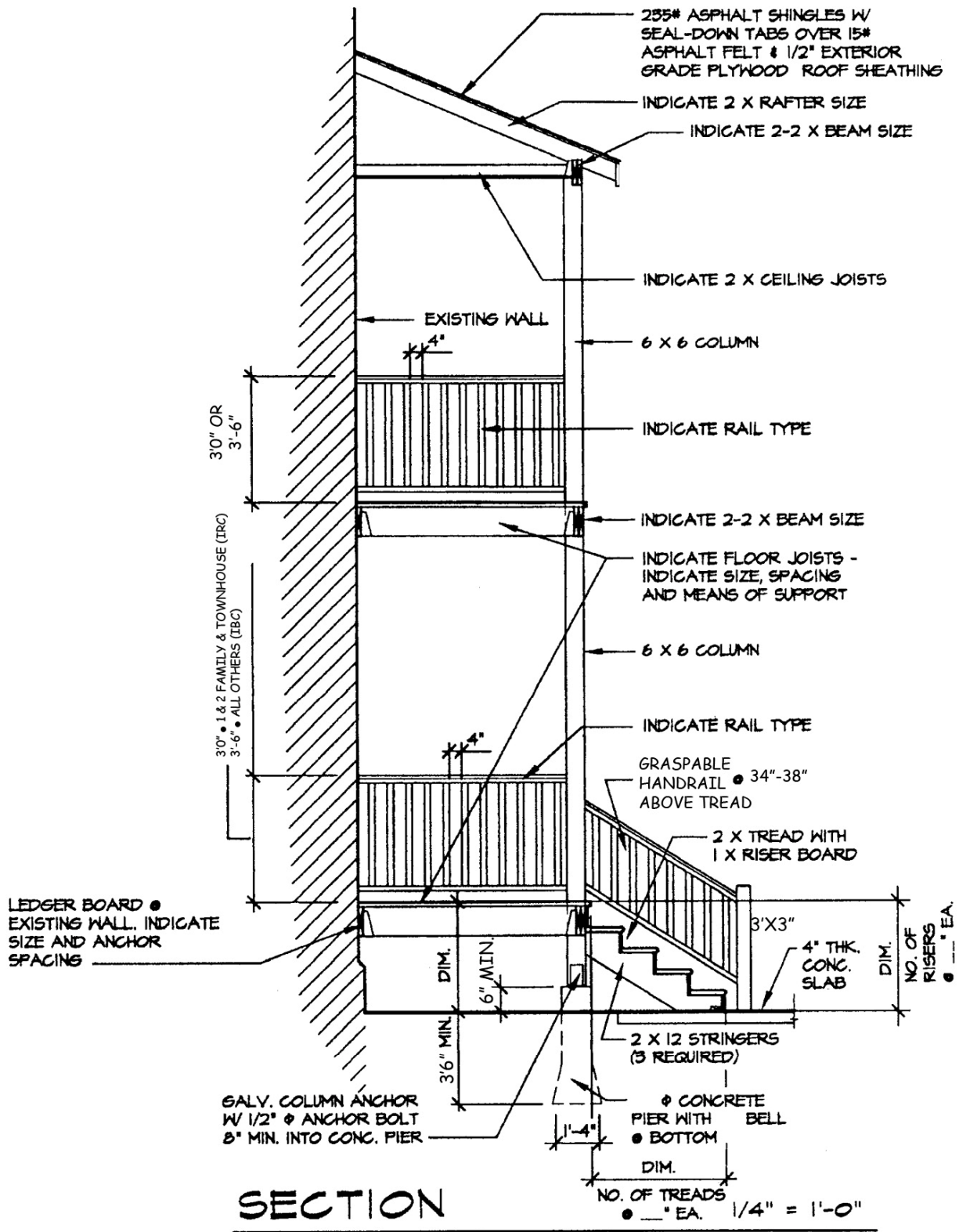
SCALE : 1/2" = 1'-0"



SECTION

SCALE : 1/2" = 1'-0"

<p>City of Iowa City - Building Division RESIDENTIAL PORCH Guidelines and Standard Construction Details</p>	Date:
	<p>Drawing No. 3 of 4</p>



City of Iowa City - Building Division
RESIDENTIAL PORCH
Guidelines and Standard Construction Details

Date: Jan., 2008

Drawing No.
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